

#### "FIND YOUR FUTURE IN FULSHEAR"

6611 W. Cross Creek Bend Lane ~ Fulshear, Texas 77441 Phone: 281-346-1796 ~ Fax: 281-346-2556 www.FulshearTexas.gov

MEMBER- BRYAN THOMAS ZOI

ZONING BOARD OF ADJUSTMENT:
MEMBER- CHRISTOPHER LUBEROFF
MEMBER- PAT MOLLERE

MEMBER- ANGELA PETERS

STAFF:

CITY MANAGER: Jack Harper

MEMBER-KAYE KAHLILCH

CITY SECRETARY: Mariela Rodriguez CITY ATTORNEY: Byron Brown

# ZONING BOARD OF ADJUSTMENT MEETING AGENDA SEPTEMBER 21, 2023

NOTICE IS HEREBY GIVEN OF A MEETING OF THE ZONING BOARD OF ADJUSTMENT OF THE CITY OF FULSHEAR ON THURSDAY, SEPTEMBER 21, 2023, AT 10:00 A.M. AT THE CITY OF FULSHEAR MUNICIPAL COMPLEX, 6611 WEST CROSS CREEK BEND LANE, FULSHEAR, TEXAS, FOR THE PURPOSE OF CONSIDERING THE FOLLOWING ITEMS.

"Incidental Meeting Notice: A quorum of the City of Fulshear City Council, Planning & Zoning Commission, City of Fulshear Development Corporation (Type A), Fulshear Development Corporation (Type B), Parks & Recreation Commission, Historic Preservation & Museum Commission, Zoning Board of Adjustment, Charter Review Commission, or any or all of these, may be in attendance at the meeting specified in the foregoing notice, which attendance may constitute a meeting of such governmental body or bodies as defined by the Texas Open Meetings Act, Chapter 551, Texas Government Code. Therefore, in addition to the foregoing notice, notice is hereby given of a meeting of each of the above-named governmental bodies, the date, hour, place, and subject of which is the same as specified in the foregoing notice."

- 1. CALL TO ORDER
- 2. QUORUM
- 3. CITIZEN COMMENTS

### 4. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MINUTES FROM MEETING HELD ON JUNE 1, 2023.

### 5. VARIANCE REQUEST BY CHRISTOPHER LUBEROFF/6102 PEPPER TRAIL LANE

#### **A.** Call Hearing to Order

- **B.** The City of Fulshear Zoning Board of Adjustment will hold a public hearing on September 21, 2023, at 10 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross Creek Bend Lane, Fulshear, Texas 77441 to hear the application of Christopher Luberoff, requesting a variance to Article II: Zoning Districts and Land Uses, Division II-2 Zoning Districts, Sec 28-2-8 Semi-Urban Residential, Table 28-2-8-1 of the Fulshear Coordinated Development Ordinance. The subject property is located within Creekside at Cross Creek Ranch Sec 10, Block 2, Lot 5 Fort Bend County, Texas and more precisely located at 6102 Pepper Trail Lane, Fulshear, Texas 77441. The application may be inspected at the Planning Department during regular business hours. Interested parties may appear at the public hearing and be heard with respect to the application. For more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.
- C. Applicant Presentation
- **D.** Staff Report
- E. Persons wishing to speak for or against the proposed request
- F. Staff / Board / Applicant discussion
- **G.** Adjournment of Hearing

### 6. CONSIDERATION AND POSSIBLE ACTION ON VARIANCE REQUEST BY CHRISTOPHER LUBEROFF/6102 PEPPER TRAIL LANE

#### 7. VARIANCE REQUEST BY GINEVRA FONT/28840 FM 1093 ROAD

#### **A.** Call Hearing to Order

**B.** The City of Fulshear Zoning Board of Adjustment will hold a public hearing on September 21, 2023, at 10 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross Creek Bend Lane, Fulshear, Texas 77441 to hear the application of Ginevra Font, requesting a variance to Article III: Site Development, Division III-3: Buffering, Landscaping, and Screening, Sec 28-3-25(C)(3) Parking Lot Screening of the Fulshear Coordinated Development Ordinance. The subject 1.880-acre tract is located within the Enoch Latham Jr. Survey, A-50 City of Fulshear Fort Bend County, Texas and more precisely located at 28840 FM 1093 Road, Fulshear, Texas 77441. The application may be inspected at the Planning Department during regular business hours. Interested parties may appear at the public hearing and be heard with respect to the application. For more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.

- C. Applicant Presentation
- **D.** Staff Report
- **E.** Persons wishing to speak for or against the proposed request
- F. Staff / Board / Applicant discussion
- **G.** Adjournment of Hearing

### 8. CONSIDERATION AND POSSIBLE ACTION ON VARIANCE REQUEST BY GINEVRA FONT/28840 FM 1093 ROAD

#### 9. VARIANCE REQUEST BY PATRICK SOWINSKI/THRIVE CHURCH

- **A.** Call Hearing to Order
- **B.** The City of Fulshear Zoning Board of Adjustment will hold a public hearing on September 21, 2023, at 10 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross Creek Bend Lane, Fulshear, Texas 77441 to hear the application of Patrick Sowinski, requesting a variance to Article II: Zoning Districts and Land Uses, Division II-2 Zoning Districts, Sec 28-2-14 General Commercial, Table 28-2-14-1 and Table 28-2-14-2 of the Fulshear Coordinated Development Ordinance. The approximately 6-acre tract of land is generally located along Wallis Street and within the Thrive Church Fulshear Subdivision, just south of the Texana Café located at 7440 FM 359 Road, Fulshear, Texas 77441. The application may be inspected at the Planning Department during regular business hours. Interested parties may appear at the public hearing and be heard with respect to the application. For more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.
- C. Applicant Presentation
- D. Staff Report
- E. Persons wishing to speak for or against the proposed request
- **F.** Staff / Board / Applicant discussion
- **G.** Adjournment of Hearing

### 10. CONSIDERATION AND POSSIBLE ACTION ON VARIANCE REQUEST BY PATRICK SOWINSKI/THRIVE CHURCH

#### 11. ADJOURNMENT

Note: In compliance with the American Disabilities Act, this facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made at least 48 business hours prior to this meeting. Please contact the City Secretary's office at 281-346-1796 for further information.

I, Katie Lewis, Assistant City Secretary of the City, do hereby certify that the above Notice of Meeting and Agenda for the Zoning Board of Adjustment of the City of Fulshear, Texas was posted on Friday, September 15, 2023, by

5:00 p.m., in a place convenient and readily accessible at all times to the general public, in compliance with Chapter 551, TEXAS GOVERNMENT CODE.
<del></del>
Katie Lewis – Assistant City Secretary



#### "FIND YOUR FUTURE IN FULSHEAR"

6611 W. Cross Creek Bend Lane ~ Fulshear, Texas 77441 Phone: 281-346-1796 ~ Fax: 281-346-2556 www.fulshearTexas.gov

MEMBER- BRYAN THOMAS MEMBER-KAYE KAHLILCH ZONING BOARD OF ADJUSTMENT:
MEMBER- CHRISTOPHER LUBEROFF
MEMBER- PAT MOLLERE

MEMBER- ANGELA PETERS

STAFF:

CITY MANAGER: Jack Harper CITY SECRETARY: Mariela Rodriguez

**CITY ATTORNEY: Byron Brown** 

# ZONING BOARD OF ADJUSTMENT MEETING MINUTES JUNE 1, 2023

#### 1. CALL TO ORDER

This meeting of the Zoning Board of Adjustment was called to order by Bryan Thomas at 10:00 a.m. on Thursday, June 1, 2023, at the City of Fulshear Municipal Complex,6611 W. Cross Creek Bend Ln., Fulshear, Texas 77441.

#### 2. QUORUM

A quorum was present.

Members Present:

Bryan Thomas Pat Mollere Kaye Kahlich

Angela Peters

Members Absent:

Christopher Luberoff

City Staff:
Katie Lewis
Rodrigo Rodriguez
Byron Brown
Zach Goodlander @ 10:33 a.m.
Jesus Escobar
Josh Green

#### Others Present:

Gemma Gullaksen
Rolf Gullaksen
H. Prasad Kolluru
Alvin Clay
Gordon Warren
Byron King
Willie Mae Newsome
Jason Smith
Rowan Smith
Mike Keavney

And 6 others that did not sign in.

#### 3. CITIZEN COMMENTS

No Citizen Comments

### 4. DISCUSSION WITH CITY ATTORNEY REGARDING ROLES AND RESPONSIBILITIES OF THE ZONING BOARD OF ADJUSTMENT

Byron Brown went over the roles and responsibilities of the Zoning Board of Adjustment.

Byron answered questions from the board.

No action was taken on this item.

#### 5. CONSIDERATION AND POSSIBLE ACTION TO SELECT A CHAIR AND CO-CHAIR OF THE ZONING BOARD OF ADJUSTMENT

A motion was made by ZBA member Kahlich to appoint Bryan Thomas as Chair of the Zoning Board of Adjustment Commission. It was seconded by ZBA member Mollere. The motion was carried by the following vote:

Ayes: Kahlich, Mollere, Thomas, Peters

Nays: Abstain:

Absent: Luberoff

A motion was made by ZBA member Mollere to appoint Kaye Kahlich as Co-Chair of the Zoning Board of Adjustment Commission. It was seconded by ZBA member Peters. The motion was carried by the following vote:

Ayes: Kahlich, Mollere, Thomas, Peters

Nays: Abstain:

Absent: Luberoff

## 6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MINUTES FROM MEETING HELD ON JANUARY 6, 2023.

A motion was made by ZBA member Kahlich to approve minutes from the meeting held on January 6, 2023. It was seconded by ZBA member Mollere. The motion was carried by the following vote:

Ayes: Kahlich, Mollere, Thomas, Peters

Nays: Abstain:

Absent: Luberoff

### 7. VARIANCE REQUEST BY ROLF & GEMMA GULLAKSEN/7718 FARM-TO-MARKET 359 ROAD S.

#### **A.** Call Hearing to Order

Bryan Thomas opened the hearing at 10:10 a.m.

**B.** The City of Fulshear Zoning Board of Adjustment will hold a public hearing on June 1, 2023, at 10:00 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross Creek Bend Lane, Fulshear, Texas 77441 to hear the application of Rolf and Gemma Gullaksen, requesting a variance to Chapter 28, Article III: Site Development, Division III-2: Parking, Loading and Access, Sec 28-3-17 Surface and Maintenance of the Fulshear Code of Ordinances. The subject 0.3881-acre tract is located within the Churchill Fulshear League, Abstract 29, Fort Bend County, Texas, and more precisely located at 7718 FM 359 Road, Fulshear, Texas 77441. The application may be inspected at the Planning Department during regular business hours. Interested parties may appear at the public hearing and be heard with respect to the application. For more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.

#### C. Applicant Presentation

Gemma Gullaksen gave handouts to the board and presented a slideshow presentation with an explanation of the hardship.

She explained she wants to use permeable material on nine (9) of the parking spaces. This will reduce the underground detention due to the small lot size.

#### D. Staff Report

Rodrigo Rodriguez stated staff is recommending the request for approval, as it complies with the Consolidated Development Ordinance (CDO). The CDO allows 20% of parking to be permeable. The permeable surface requested will be 90% of the parking and will be in the rear of the building and shielded by landscaping.

#### **E.** Persons wishing to speak for or against the proposed request

Rev. Gilmore of Greater Zachary Baptist Church explained that people have been using the church parking lot to turn around and are tearing it up. He wants to know who is responsible for the repairs.

Alvin Clay, Deacon of the Greater Zachary Baptist Church spoke of the number of parking spaces allowed for the business.

Willie Mae Newsome owns the home behind the property. She feels her property is being invaded.

#### F. Staff / Board / Applicant discussion

Kaye Kahlich spoke regarding this item.

Mike Keavney-Design builder for this project answered questions from the board.

Rodrigo Rodriguez and the applicant answered questions.

#### **G.** Adjournment of Hearing

Chairman Bryan Thomas closed the hearing at 10:38 a.m.

### 7. CONSIDERATION AND POSSIBLE ACTION ON VARIANCE REQUEST BY ROLF & GEMMA GULLAKSEN/7718 FARM-TO-MARKET 359 ROAD S.

A motion was made by ZBA member Peters to accept the variance request. It was seconded by ZBA member Mollere. The motion was carried by the following vote:

Aves: Kahlich, Mollere, Thomas, Peters

Nays: Abstain:

Absent: Luberoff

### 9. VARIANCE REQUEST BY AHV ENTERPRISES LLC/7355 FARM-TO-MARKET 359 ROAD S.

#### **A.** Call Hearing to Order

Brian Thomas opened the hearing at 10:39 am

**B.** The City of Fulshear Zoning Board of Adjustment will hold a public hearing on June 1, 2023 at 10:00 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross Creek Bend Lane, Fulshear, Texas 77441 to hear the application of AHV Enterprises, LLC, requesting variances to Chapter 28, Article III: Site Development, Division III-1: Building Design, Sec 28-3-8 Downtown of the Fulshear Code of Ordinances, regarding minimum building setbacks and off-street parking. The subject 6.138-acre tract is located within the 0029 C Fulshear, Tract 3, 4, 5, 6 and more precisely located at 7355 FM 359 Road S, Fulshear, Texas 77441. The application may be inspected at the Planning Department during regular business hours. Interested parties may appear at the public hearing and be heard with respect to the application. For more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.

#### C. Applicant Presentation

Thomas De Froy, Identity Architects, gave the board an exhibit and presented the hardship.

He explained they are requesting one (1) row of parking in front of building A, two (2) rows of parking in front of building B, and 76 percent (%) of the parking in the rear of the buildings.

#### **D.** Staff Report

Zach Goodlander stated the City Staff approve the variance with a condition to increase the setback allowing for one (1) row of parking instead of two (2) in front of building b. Also, the storage units cannot move forward with construction until the retail construction moves forward. This is to ensure the retail buffers the storage units.

E. Persons wishing to speak for or against the proposed request

No citizens wished to speak on this variance.

#### **F.** Staff / Board / Applicant discussion

The ZBA members asked questions regarding handicap spaces and additional entrances to the buildings. The questions were answered by Zach Goodlander and Thomas De Foy.

#### **G.** Adjournment of Hearing

Bryan Thomas closed the hearing at 11:02 am

### 10. CONSIDERATION AND POSSIBLE ACTION ON VARIANCE REQUEST BY AHV ENTERPRISES LLC/7355 FARM-TO-MARKET 359 ROAD S.

A motion was made by ZBA member Mollere to accept the variance request as provided. It was seconded by ZBA member Peters. The motion was carried by the following vote:

Ayes: Kahlich, Mollere, Thomas, Peters

Nays: Abstain:

Absent: Luberoff

#### 11. ADJOURNMENT

A motion was made by ZBA member Kahlich to adjourn. It was seconded by ZBA member Mollere. The motion was carried by the following vote:

Ayes: Kahlich, Mollere, Thomas, Peters

Nays: Abstain:

Absent: Luberoff

Bryan Thomas adjourned the meeting at 11:03 a.m.

#### **PUBLIC HEARING**

The City of Fulshear Zoning Board of Adjustment will hold a public hearing on September 21, 2023; The public hearing will take place at 10 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross Creek Bend Lane, Fulshear, Texas 77441 to hear the application of Christopher Luberoff, requesting a variance to Article II: Zoning Districts and Land Uses, Division II-2 Zoning Districts, Sec 28-2-8 Semi-Urban Residential, Table 28-2-8-1 of the Fulshear Coordinated Development Ordinance. The subject property is located within Creekside at Cross Creek Ranch Sec 10, Block 2, Lot 5 Fort Bend County, Texas and more precisely located at 6102 Pepper Trail Lane, Fulshear, Texas 77441. The application may be inspected at the Planning Department during regular business hours. Interested parties may appear at the public hearing and be heard with respect to the application. For more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.

#### **AGENDA MEMO**

#### BUSINESS OF THE ZONING BOARD OF **ADJUSTMENTS** CITY OF FULSHEAR, TEXAS

**AGENDA OF:** September 21, 2023

**DATE SUBMITTED:** May 23, 2023 **DEPARTMENT:** Planning and

Development

Rodrigo Rodriguez,

Joshua Brothers, PREPARED BY: Development PRESENTER: Planning Director

Coordinator

**SUBJECT:** CONSIDERATION AND POSSIBLE ACTION ON VARIANCE

REQUEST BY CHRISTOPHER LUBEROFF/6102 PEPPER TRAIL

**LANE** 

1. Public Hearing Notice ATTACHMENTS:

2. Zoning Variance Application

3. Pictures of the Fireplace

#### **EXECUTIVE SUMMARY**

Christopher Luberoff is requesting a variance to Article II: Zoning Districts and Land Uses, Division II-2 Zoning Districts, Sec 28-2-8 Semi-Urban Residential, Table 28-2-8-1 of the Fulshear Coordinated Development Ordinance. The purpose of the proposed variance is to allow for an outdoor fireplace structure to encroach the 5ft build line. The structure is currently encroaching the build line as it was built prior to obtaining a permit from the City.

#### STAFF RECOMMENDATION

Staff recommends approval.



### CITY OF FULSHEAR

PO Box 279 /6611 W. Cross Creek Bend Ln Fulshear, Texas 77441 Phone: 281-346-8860 ~ Fax: 281-346-2556 www.fulsheartexas.gov

#### VARIANCE/APPEAL APPLICATION

APPLICATION DATE:5/22/2023
ADDRESS OF PREMISES AFFECTED: 6102 Pepper Trail Lane, Fulshear, TX 77441
LEGAL DESCRIPTION:Luberoff Fireplace
OWNERS INFORMATION: NAME Christopher and Katie Luberoff  ADDRESS 6102 Pepper Trail Lane CITY Fulshear STATE TX
ZIP CODE 77441 EMAIL Cluberoff@gmail.com PHONE NUMBER 817-907-6843
APPLICANTS NAME (if different than owner)  ADDRESS CITY STATE  ZIP CODE EMAIL PHONE NUMBER
EXPLAIN REQUEST: (fully explain the existing conditions that make this request necessary) We have recently constructed an Outdoor Fireplace next to our pool. We are looking for a variance to be allowed to keep the structure that is in the 5' building line.
Status of the Project: X Existing O Under Construction O Proposed  Have there been previous variance requests for this property?No  Are there similar situations in the area?Yes Addresses:
Have you informed your Home Owners Association? No _or Neighbors? <u>Yes</u>
Request Proposal and Description: Provide a description of the existing and or proposed physical property improvements relative to this case (ie: materials, structure type and height, dimensions, etc.) Please also supply and identify photos where applicable, to support your case:  First, I want to applogize to the city and county for building the attached fireplace without the correct permits in the area. This is
entirely on me for not taking the proper action. Second, I know everyone is extremely busy, and I wanted to thank you for your
unfront time with this matter  BECEIVED
DEVELOPMENT SERVICES DEPT

MAY 2 3 2023

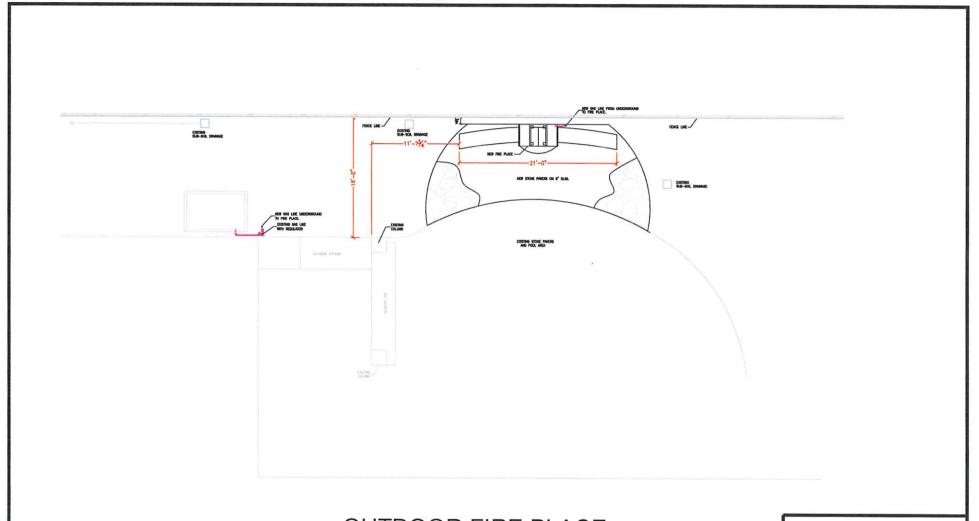
CITY OF FULSHEAR FULSHEAR, TX 77441

The fireplace has been constructed with an outer layer of 6" limestone, followed by an interlayer of 4" CMU and then plaster.
A 10" layer of stone protection before any flame. As you see in the photo, the fireplace sits on a 6" concrete pad, and the
the topping stone slab. There is zero to no heat rejection from the back towards the fence. Also, the fireplace is 9' tall with a
topping guard. After speaking with Mr. Sigler (Chief Inspector), he told me my next step was to reach out the County Chief Fire
Marshall to ask for a grievance from him. I have attached his approval and recommendation from the County Marshal.
Attached pictures also show the installed SS316 spark arrestor grate. I am asking for your grievance and acceptance so we
do not have to dismantle this structure.

Acknowledgement: I certify that the information herein provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will cause this case to be presented in public hearing before the Planning Commission, unless I withdraw same prior to the City's posting of public notice. Should I initiate withdrawal after public notice is posted, I understand that the Board action shall constitute denial of the case, and the filing fee will be non-refundable. I understand that if I receive approval, I must still obtain approval from all other required departments within the City and that I must obtain required permits within 180 days from the date of the Board approval.

Signed by the Applicant/Owner Agent:

: \_ \_ Date: \_ 5/22/2023

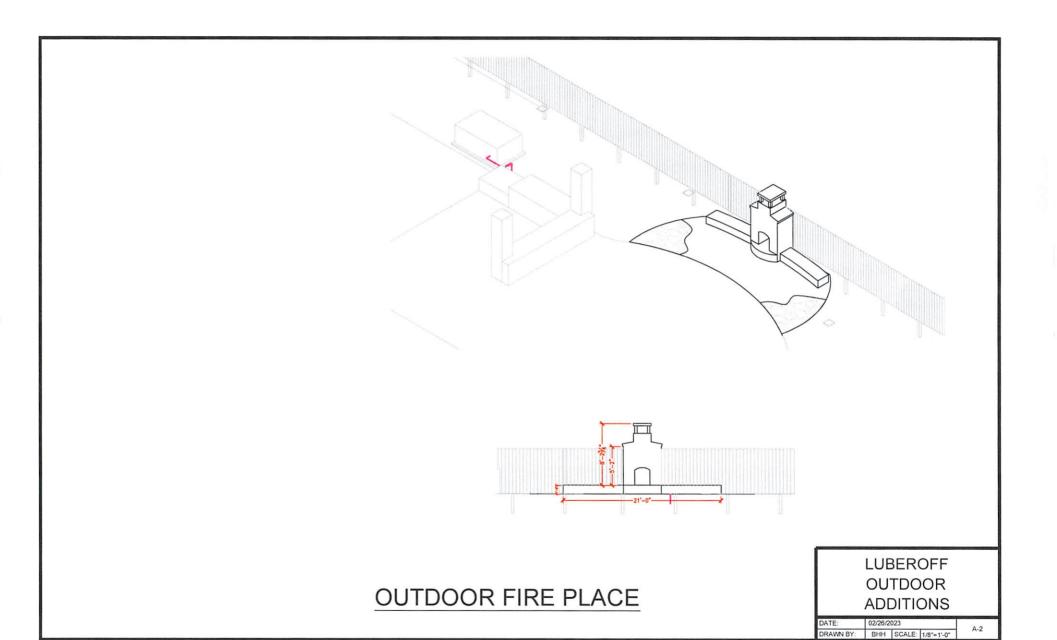


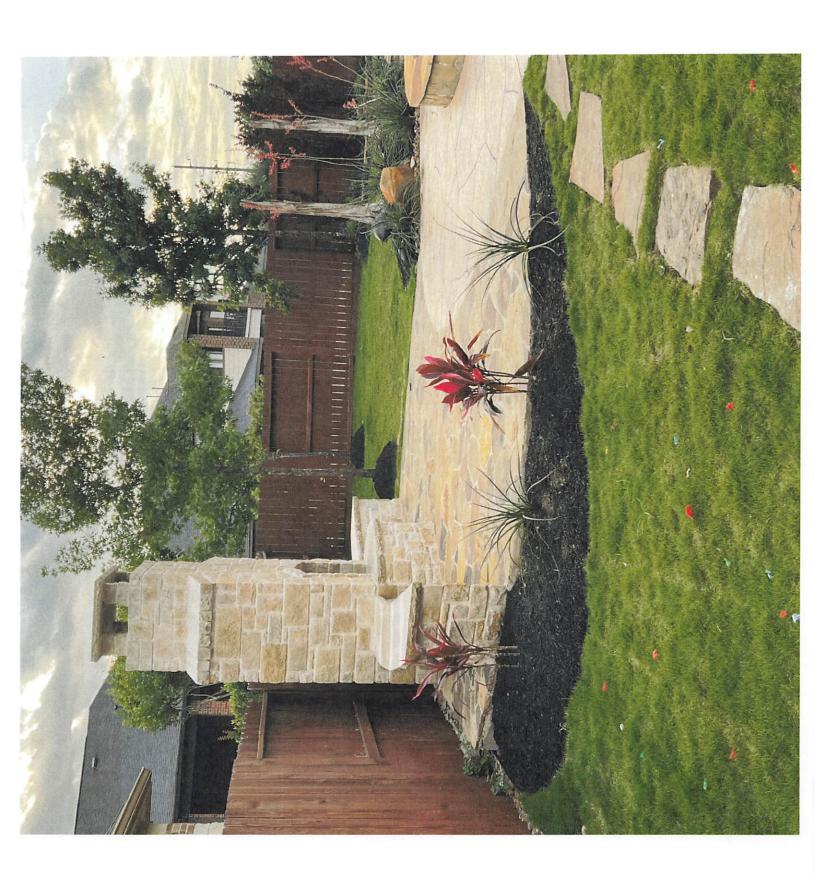
OUTDOOR FIRE PLACE

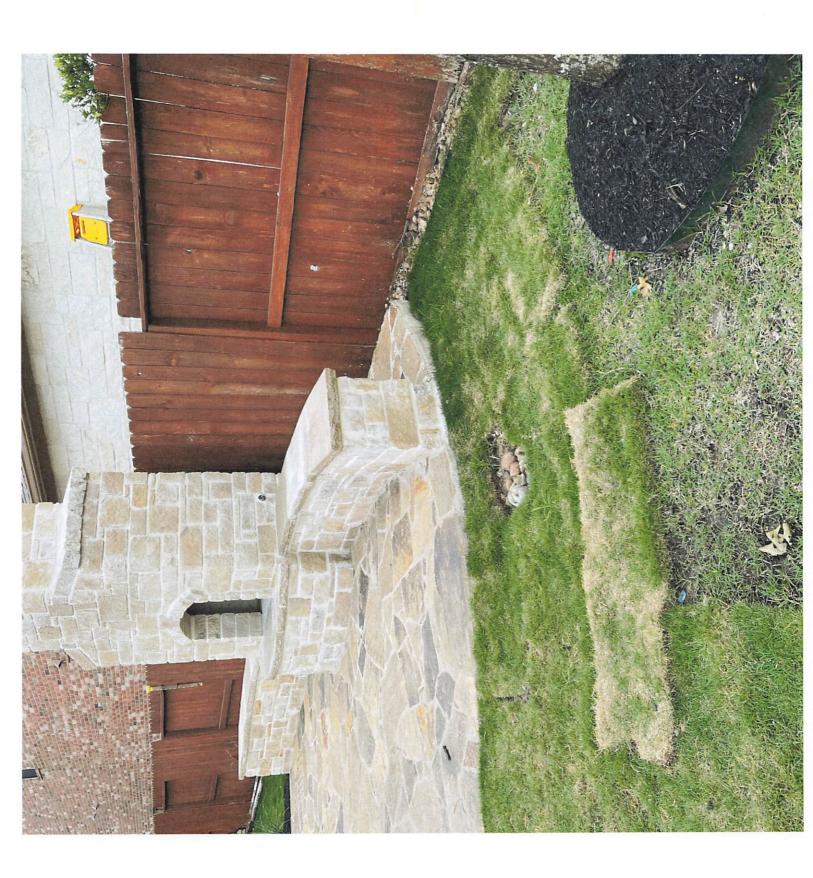
LUBEROFF OUTDOOR ADDITIONS

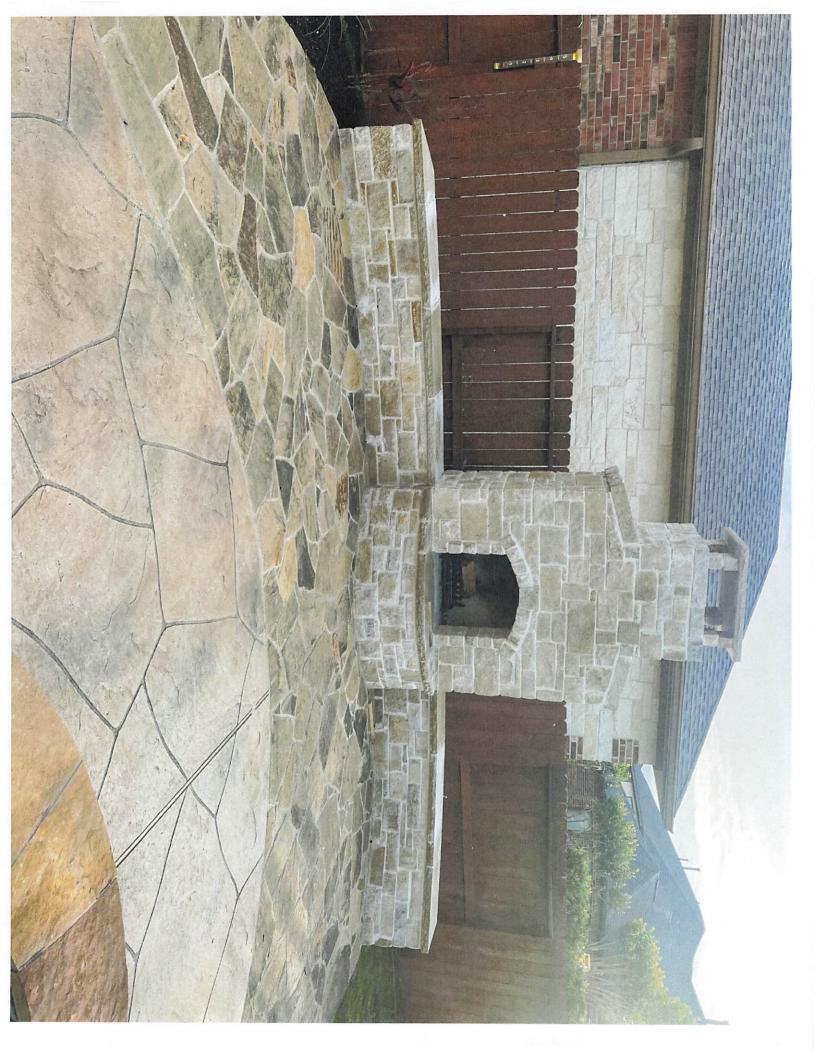
DATE: 02/26/2023

DRAWN BY: BHH SCALE: 1/8"=1"-0"

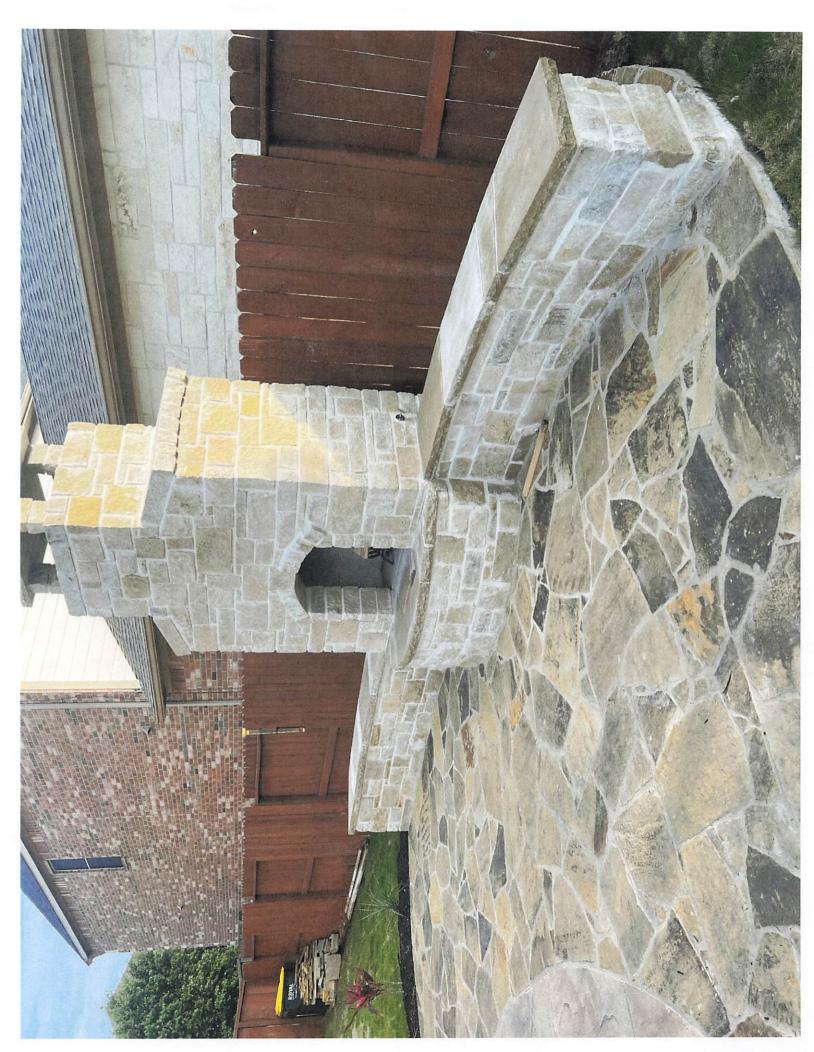












#### **Christopher Luberoff**

From:

Voorhies, Michael < Michael. Voorhies@fortbendcountytx.gov>

Sent:

Monday, April 10, 2023 8:24 AM

To:

Christopher Luberoff

Subject:

RE: Luberoff Residence

I have no issues with the outdoor fire place. However, to protect the property next to you, you need to add a spark arrestor screen at all openings at the top.

#### Mike Voorhies, FEMT

#### **Battalion Chief**

1521 Eugene Heimann Circle # 114

Richmond, Texas 77469 Office: 281-238-1500 Fax: 832-471-2440

michael.voorhies@fortbendcountytx.gov

www.fbcfmo.gov



"Leaderships is a gift. It's given by those who follow. You have to be worthy of it." Gerneral Mark Welsh, USAF

From: Christopher Luberoff < Christopher. Luberoff@PolkMechanical.com>

Sent: Wednesday, April 5, 2023 12:46 PM

To: Voorhies, Michael < Michael. Voorhies@fortbendcountytx.gov>

Subject: RE: Luberoff Residence

Chief,

I was wondering if you had a chance to review my email below?

Thank you for your time sir.

Thank you,

Christopher Luberoff · Vice President of

Houston Construction

Polk Mechanical Company, LLC  $\cdot$  11875 Cutten Road  $\cdot$  Houston  $\cdot$  TX  $\cdot$  77066

Office 281-397-5800 · Cell 817-907-6843

chris.luberoff@polkmechanical.com

Mechanical License: TACLA27557C · Plumbing License: M-16718, M-12108





From: Christopher Luberoff

Sent: Tuesday, March 28, 2023 6:30 PM To: michael.voorhies@fortbendcountytx.gov

Subject: Luberoff Residence

Chief Michael,

Thank you for receiving my voicemail this morning, I wanted to follow up with you by email to explain my situation more clearly so you have this picture painted for our phone discussion or meeting.

First, I want to apologize to the city and county for building the attached fireplace without the correct permits in the area. This is entirely on me for not taking the proper action. Second, I know you are a busy man, and I wanted to thank you for your upfront time with this matter.

Attached are the drawings and photos of the fireplace I constructed over the winter. I recently contacted the city of Fulshear regarding permitting, and they have been very accommodating through this process. The issue arose because I was not 5' from my fence at the build. We currently have 1'6 inches from outer stone to fence. I was told to contact the Fort Bend Fire Marshall Office to discuss options and how we could possibly resolve without moving the structure.

#### The Build:

The fireplace has been constructed with an outer layer of 6" limestone, followed by an interlayer of 4" CMU and then plaster. So a 10" layer of stone protection before any flame. As you see in the photo, the fireplace sits on a 6" concrete pad, and the topping stone slab. There is zero to no heat rejection from the back towards the fence.

Also, the fireplace is 9' tall with a topping guard.

What I am asking for is a grievance so I do not have to dismantle this structure that was built. With this grievance and your approval, I would like to propose adding an additional layer of protection- a fire retardant spray (Fire Guard E-84). I have attached the SDS and User Manual for your review.

Any other suggestions or additional protection that I can make without removing the fireplace would be appreciated.

Please reach out to me and discuss this on the phone, or if you would like to meet at my home, see the situation and resolve I would be happy too.

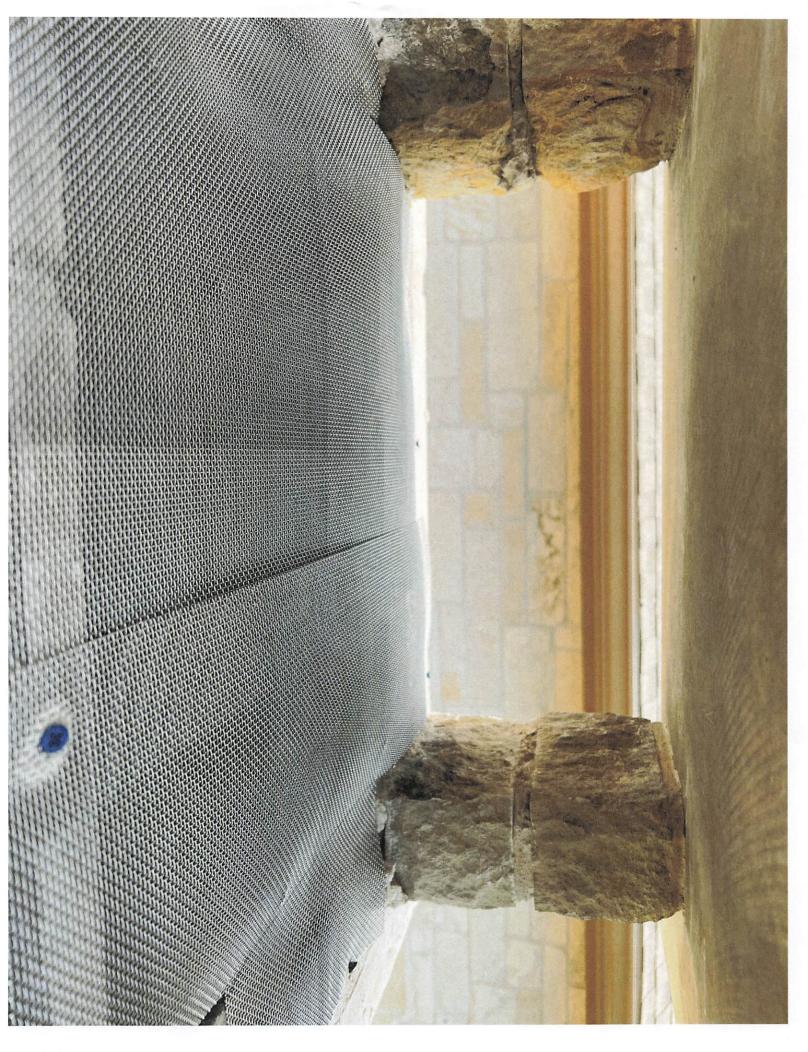
I would like to thank you and your team for your service and all that you provide to our county.

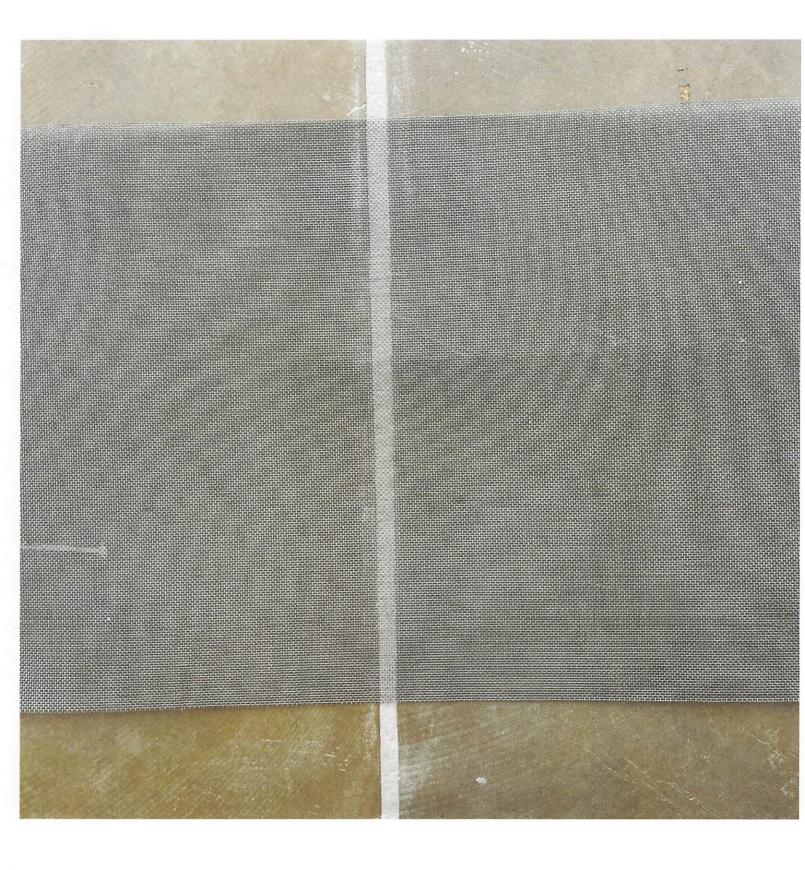
Thank you,

Christopher Luberoff (Home Owner) 817-907-6843



This email originated from outside of the organization. 'christopher.luberoff@polkmechanical.com' Do not click CAUTION: links, open attachments, or respond unless you recognize the sender and know the content is safe. Please forward suspicious emails to the IT Service Desk.





#### **PUBLIC HEARING**

The City of Fulshear Zoning Board of Adjustment will hold a public hearing on September 21, 2023; The public hearing will take place at 10 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross Creek Bend Lane, Fulshear, Texas 77441 to hear the application of Ginevra Font, requesting a variance to Article III: Site Development, Division III-3: Buffering, Landscaping, and Screening, Sec 28-3-25(C)(3) Parking Lot Screening of the Fulshear Coordinated Development Ordinance. The subject 1.880-acre tract is located within the Enoch Latham Jr. Survey, A-50 City of Fulshear Fort Bend County, Texas and more precisely located at 28840 FM 1093 Road, Fulshear, Texas 77441. The application may be inspected at the Planning Department during regular business hours. Interested parties may appear at the public hearing and be heard with respect to the application. For more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.

#### **AGENDA MEMO**

#### BUSINESS OF THE ZONING BOARD OF **ADJUSTMENTS** CITY OF FULSHEAR, TEXAS

**AGENDA OF:** September 21, 2023

**DATE SUBMITTED:** June 23, 2023 **DEPARTMENT:** Planning and

Development

Rodrigo Rodriguez,

Joshua Brothers, PREPARED BY: Development PRESENTER: Planning Director

Coordinator

**SUBJECT:** CONSIDERATION AND POSSIBLE ACTION ON VARIANCE

REQUEST BY GINEVRA FONT/28840 FM 1093 RD

1. Public Hearing Notice **ATTACHMENTS:** 

2. Zoning Variance Application

3. Proposed Landscape Plan

#### **EXECUTIVE SUMMARY**

Ginevra Font is requesting a variance to Article III: Site Development, Division III-3: Buffering, Landscaping, and Screening, Sec 28-3-25(C)(3) Parking Lot Screening of the Fulshear Coordinated Development Ordinance. The purpose of the proposed variance is to waive the requirement for street trees along FM 1093 due to an existing utility easement. The first phase of this project was granted the same variance in the past.

#### STAFF RECOMMENDATION

Staff recommends approval.



### CITY OF FULSHEAR

PO Box 279 /6611 W. Cross Creek Bend Ln Fulshear, Texas 77441 Phone: 281-346-8860 ~ Fax: 281-346-2556

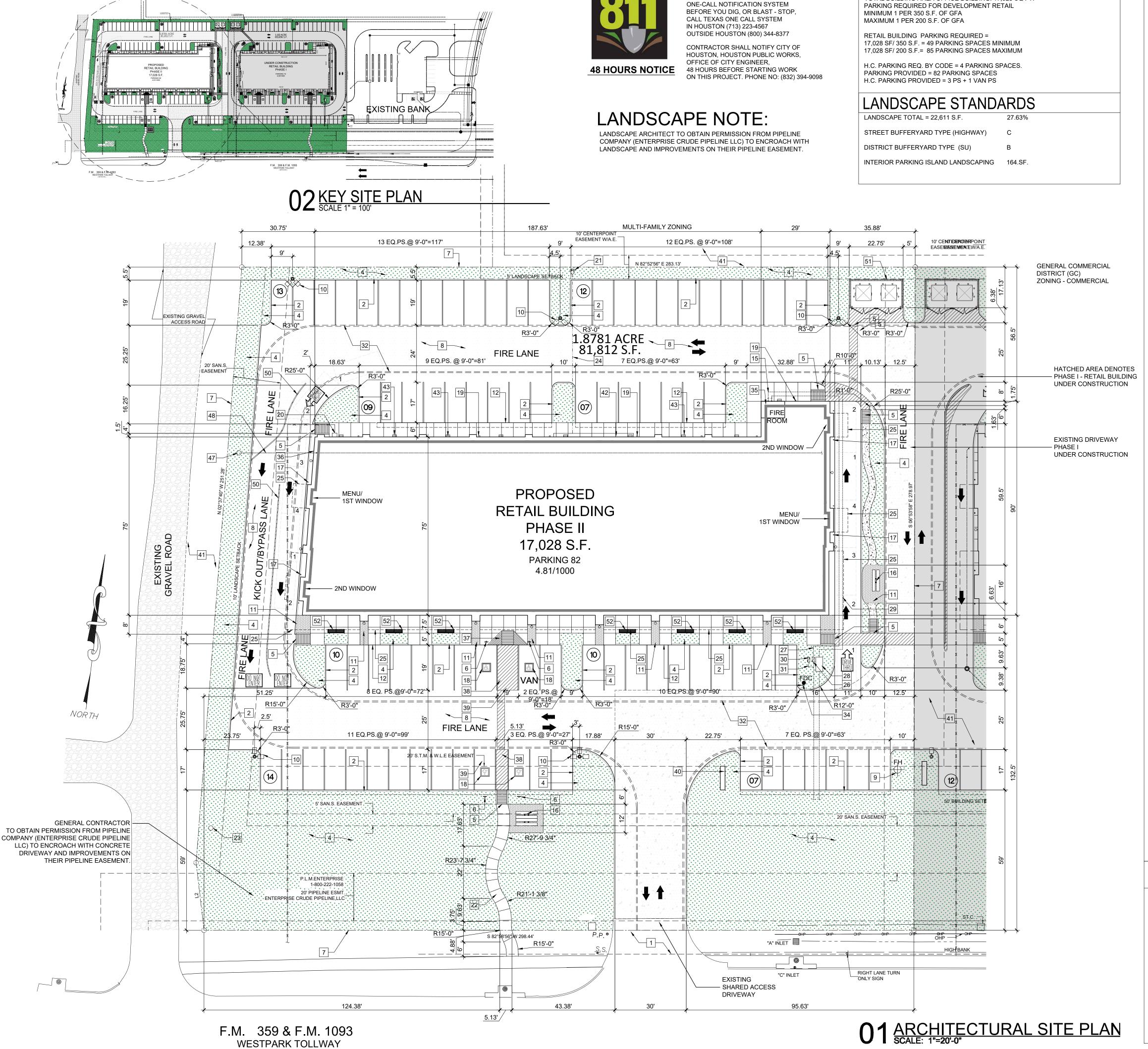
www.falsheart.kar.go

#### VARIANCE/APPEAL APPLICATION

APPLICATION DATE: 06.23.2023  ADDRESS OF PREMISES AFFECTED: 28840 F.M. 1093 DD. FULSHEAR X.77441.  LEGAL DESCRIPTION: LAND THE SUBVEY OF A 1.880 ACCET PACT OF LAND STUATED IN THE ENOCH LATHAM JR. SURVEY, A-EO CITY OF FULSHEAR, FORT PEND COUNTY, THAN OWNERS INFORMATION: NAME ARYO - CC R. LLC. MR. VIBBLOR. MPL PUTICA.  ADDRESS 16914 ADDISON AME. CITY SUGAR LAND STATE TX.  ZIP CODE 77479 EMAIL YMPL ROTHO GMAIL APPHONE NUMBER 832.7220.3220  APPLICANTS NAME (if different than owner) GINEYRA TONT  ADDRESS 1240 EMILY CA. STE 402 CITY SUGAR LAND STATE TX.  ZIP CODE 77478 EMAIL FORTHOLOGYDING! PHONE NUMBER 813.492.9541  GOTO  EXPLAIN REQUEST: (fully explain the existing conditions that make this request necessary) NR AKE REQUESTING A VACIANCE TO ELIMINATE THE DEGUILEMENT FOR STICKET IN SUBJECT PROPERLY. SULM AS INTIMY EASE MENT ADDRESS 1412 FRONT OF THE PROPERLY. SULM AS INTIMY EASE MENT ADDRESS 1412 FRONT OF THE PROPERLY. SULM AS INTIMY EASE MENT ADDRESS 1412 FRONT OF THE PROPERLY. SULM AS INTIMY EASE MENT ADDRESS 1412 FRONT OF THE PROPERLY. SULM AS INTIMY EASE MENT ADDRESS 1412 FRONT OF THE PROPERLY SULM AS INTIMY EASE MENT ADDRESS 1412 FRONT OF THE PROPERLY.  Status of the Project: O Existing O Under Construction Proposed  Have there similar situations in the area? 1E8  Addresses: 28830 F.M. 1093 PD. FULSHBAR TX. 77441  Have you informed your Home Owners Association? No or Neighbors? 1E3  Request Proposal and Description: Provide a description of the existing and or proposed physical property improvements relative to this case (ic: materials, structure type and height, dimensions, etc.) Please also supply and identify photos where applicable, to support your case:  THE 9081ECT PROPERLY IS A YACANT LOT, WE ARE PROPOSING A NEW PATH.  BULLING ONE STORY APPROXIMATE 17,028 S.F., THE MAY HT WILL BE 91405 MND IT WILL BE 1412 PHASE II. WE ARE EMPORE ON STRUCTION FOR THAS TO IN THE LOT NEXT TO THE PLASE II. WE ARE EMPORED ON STRUCTION FOR THE PLASE II. WE ARE EMPORED ON STRUCTION FOR THE PLASE II. WE ARE EMPORED ON STRUCTION	
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Have there been previous variance requests for this property? NO  Are there similar situations in the area? YES  Addresses: 28830 F.M. 1093 PD. FULSHEAR TX. 7744!  Have you informed your Home Owners Association? No or Neighbors? YES  Request Proposal and Description: Provide a description of the existing and or proposed physical property improvements relative to this case (ie: materials, structure type and height, dimensions, etc.) Please also supply and identify photos where applicable, to support your case:  THE SUBJECT PROPERTY IS A VACANT LOT, WE ARE PROPOSING A NEW RETAIL BUILDING -ONE STORY APPROXIMATE 17,028 ST. THE MAY HT WILL BE 2440" AND IT WILL BE THE PHASE II. WE ARE UNDER CONSTRUCTION FOR	VARIANCE to ELIMINATE THE REQUIREMENT FOR STREET TREES ATOUR. PROPOSED DEVELOPMENT DUE TO THE EXISTING CONDITIONS IN THE SUBJECT PROPERTY, SUCH AS UTILITY EASEMENT ACROSS THE FRONT OF THE PROPERTY
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BUILDING - ONE STORY APPROXIMATE 17,028 S.F. THE MAY HT WILL BE 246" AND IT WILL BE THE PHASE II. WE ARE UNDER CONSTRUCTION FOR	physical property improvements relative to this case (ie: materials, structure type and height,
	BUILDING - ONE STORY APPROXIMATE 17,028 S.F. THE MAY HT WILL BE 246" AND IT WILL BE THE PHASE II. WE ARE UNDER CONSTRUCTION FOR

(Continued Request Proposal)  HE FACADE FOR HE BUILDING WILL BE STONE BRICK AND ACCENT METAL.
Acknowledgement: I certify that the information herein provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will cause this case to be presented in public hearing before the Planning Commission, unless I withdraw same prior to
the City's posting of public notice. Should I initiate withdrawal after public notice is posted, I understand that the Board action shall constitute denial of the case, and the filing fee will be non-refundable. I understand that if I receive approval, I must still obtain approval from all other required departments within the City and that I must obtain required permits within 180 days from the date of the Board approval.
Signed by the Applicant/Owner Agent:

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(120' R.O.W.)

### PARKING SYNOPSIS

TOTAL BUILDING AREA OFFICE BUILDING: 17,028 SQ FT. PARKING REQUIRED FOR DEVELOPMENT RETAIL

## **KEYED NOTES**

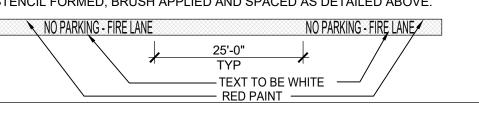
- 1 EXISTING DRIVEWAY TO REMAIN
- NEW TYPICAL 6" CONCRETE CURB. RE:10/A0.2 AND CIVIL DRAWINGS
- 3 EXISTING CONCRETE CURB TO REMAIN
- 4 LANDSCAPED AREA, RE: LANDSCAPE DRAWINGS
- 5 ACCESSIBLE RAMP, RE:17/A0.2
- 6 H.C. ACCESSIBLE SIGNAGE, RE: 14/A0.2
- 7 PROPERTY LINE
- 8 NEW CONCRETE DRIVEWAY, RE: CIVIL DRAWINGS
- 9 EXISTING FIRE HYDRANT
- SITE LIGHT POLE, TO BE LED FIXTURES, HOLOPHANE HALLBROOK SERIES, POLE HEIGHT HLBK15: 15'-0" (REFER GUIDELINES) COLOR FOR ALL PARKING LOT TO BROWN: RE: STRUCTURAL DRAWINGS FOR LIGHT POLE FOUNDATION AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 BRICK PAVERS: BRICK TO MATCH EXTERIOR ELEVATIONS
- TYPICAL 6" CONCRETE CURB AT SIDEWALK. RE: 01/A0.2
- 13 CONCRETE WHEEL STOP. RE: 05/A0.2
- 14 ACCESSIBLE RAMP AT PUBLIC SIDEWALK, RE: CIVIL DRAWINGS
- 15 WATER ENTRY FOR DOMESTIC AND FIRE
- 16 BICYCLE AREA, RE: 15/A.02
- 17 STEEL BOLLARDS, RE: 08/A0.3
- PAINTED H.C. SYMBOL, RE: 02/A0.2
- DOWNSPOUT LOCATION -CONNECT TO STORM DRAIN SEWER SYSTEM, COORDINATE WITH CIVIL PLANS
- GAS METER LOCATION, RE: MEP
- PROPOSED PRIMARY SERVICE POLE, RE ELECTRICAL DRAWINGS.
- PROPOSED SIDEWALK TO MATCH CROSS CREEK RANCH STANDARDS, RE: CIVIL DRAWINGS.
- 23 EXISTING SANITARY MANHOLE, RE: CIVIL PLANS
- 24 UNDERGROUND SECONDARY ELECTRICAL, RE: MEP.
- 25 BUILDING CANOPY ABOVE
- 2" DOMESTIC WATER METER ASSEMBLY ENTRY; 2" REDUCE PRESSURE ZONE BACKFLOW PREVENTER RE: CIVIL DRAWINGS
- 27 2" DOMESTIC WATER LINE
- DOUBLE CHECK VALVE BACKFLOW PREVENTER, RE:CIVIL DRAWINGS
- 29 6" FIRE WATERLINE, RE: CIVIL DRAWINGS
- 30 1-1/2" IRRIGATION SUPPLY WATER LINE BRANCHED FROM MAIN 2" DOMESTIC WATER LINE, RE: CIVIL DRAWINGS.
- 31 1-1/2" IRRIGATION WATER LINE
- 32 PROPOSED FIRE ACCESS LANE.
- 33 NOT USED.
- PROPOSED FIRE DEPARTMENT CONNECTION
- 35 FIRE SPRINKLER ROOM
- 36 SANITARY EXIT POINT, RE: CIVIL DRAWINGS
- ACCESSIBLE RAMP, RE: 16/A0.2
- 38 4" WIDE, WHITE PAINTED AISLE STRIPES, 2'-0" O.C. AT 45°.
- 39 ACCESSIBLE PARKING SPACES, RE: DETAIL 12/A0.2
- MONUMENT SIGN TO COMPLY WITH CROSS CREEK RANCH DESIGN GUIDELINES; DESIGN-ENGINEERING & PERMIT BY SIGN COMPANY (NIC), G.C. TO PROVIDE POWER FOR SIGN, RE: MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- 41 EXISTING ADJACENT DEVELOPMENT.(NIC)
- PROPOSED ELECTRICAL GUTTER LOCATION, RE: MEP DRAWINGS
- PROPOSED WALL PACKS. RE: MEP DRAWINGS.
- 44 NOT USED.
- 45 NOT USED
- 46 NOT USED
- PROPOSED SANITARY MANHOLE.
- 48 PROPOSED SANITARY SEWER LINE.
- 49 PROPOSED SANITARY SEWER CLEAN OUT
- 50 STRIPED BARRIER AT DRIVEWAY FOR DRIVE THRU AND FIRE ACCESS.
- 51 DUMPSTER ENCLOSURE LOCATION, RE: SHEET A0.3 FOR ADDITIONAL
- 52 PROPOSED BENCH EXTERIOR BENCH, MODEL: PARIS PREMIER 72" WIDTH.

### FIRE LANE NOTE:

FIRE LANE SYMBOL

PAINT DESIGNATED CURBS WITH AN EXTERIOR ACRYLIC LATEX PAINT COLOR TO BE "TRAFFIC RED" GLIDDEN No. 63251 OR EQUAL FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 25'-0" O.C. LETTERS SHALL BE 4" HIGH PAINTED WITH AN EXTERIOR ACRYLIC PAINT, LETTERS TO BE 1" STROKE. COLOR TO BE "TRAFFIC WHITE" GLIDDEN No. 563245 OR EQUAL.

STRIPE MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH, LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ABOVE.





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IT NOT LIMITED TO THE FOLLOWING: STRUCTIONS TO BIDDERS(IF ANY) STANDARD FORMAT OF THE GREEMENT BETWEEN THE OWNER AND CONTRACTOR, AIA OCUMENT A101-2017 EDITION GENERAL CONDITIONS OF THE ONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201-2017 EDITI FANDARD FORM OF AGREEMENT CONTRACTOR AND IBCONTRACTOR AGREEMENT FORM, AIA DOCUMENT A401-2017 PECIFICATIONS. COPY OF THE ABOVE DOCUMENTS ARE ON FILE A

ISE OR REPRODUCTION OF THIS DRAWING OR BLUEPRINT MAY BE AN GEMENT OF THE FEDERAL COPYRIGHT ACT. THIS DRAWING CTED UNDER THE FEDERAL COPYRIGHT ACT BY: FONT DESIGN

I'HIS CONSTRUCTION DOCUMENT SHALL BE CONSIDERED A PART OI SET, AND SHALL NOT BE SEPARATED FROM THE SET.

RA CREEK BUILDING NO O 0\$

CR

Dated: **07.18.2022** Project Address: 28840 F.M. 1093 RD.

FULSHEAR, TX 77441 Mr. Vibhor Mehrotra

ARVO - CCR, Llc. 6914 Addison Ave. Sugar Land Texas, 77479 Ph. 832.726.3220

Governmental Jurisdiction: CITY OF FULSHEAR PERMITTING DEPARTMENT P.O. BOX / 29255 F.M. 1093 # 12C FULSHEAR, TX 77441

PH: 281.346.8860 - FAX: 281.346.8237

evisions:					
lark:	Description:	Date:			

Sheet Contents:

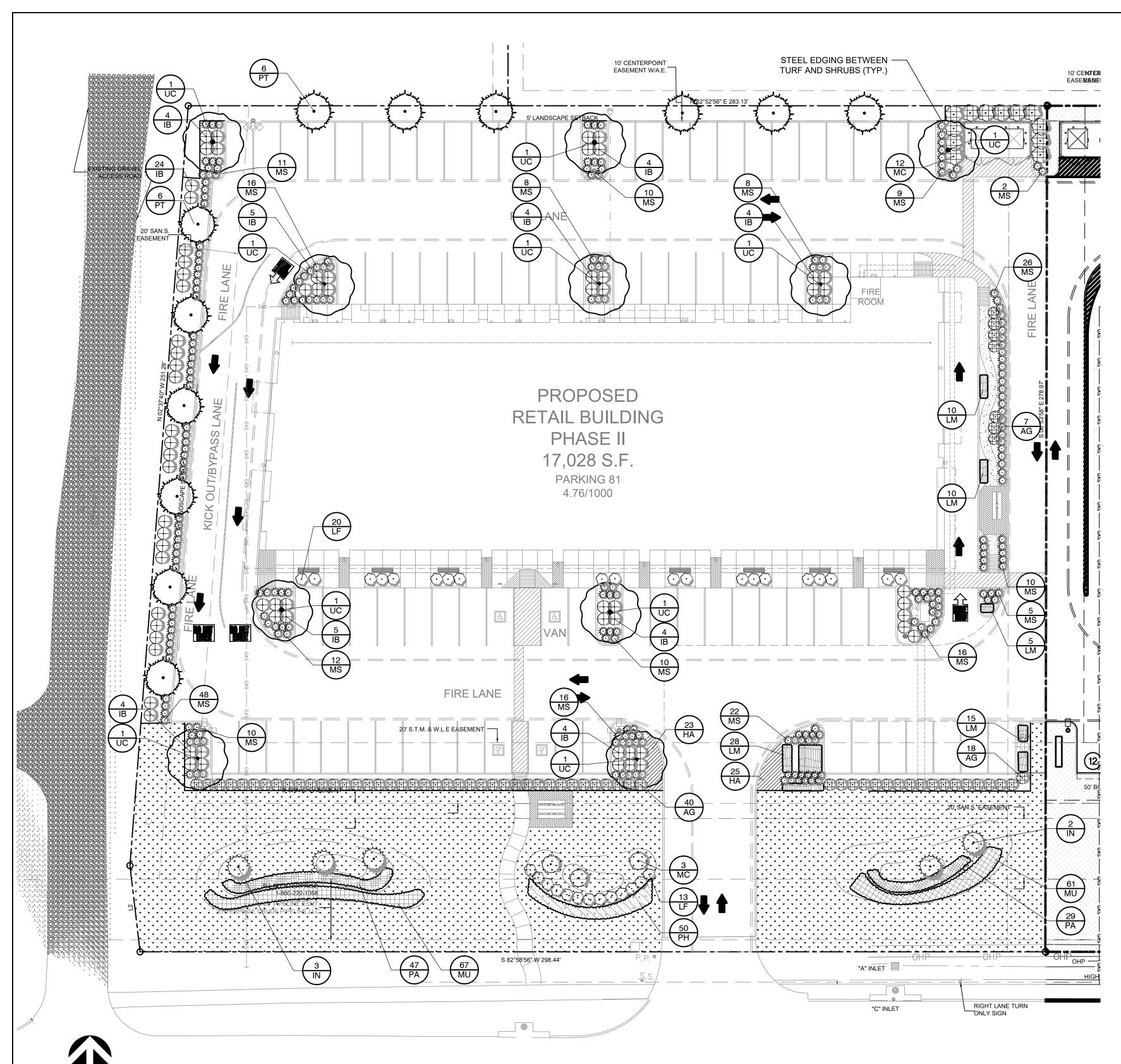
**ARCHITECTURAL** SITE PLAN

Drawn By: G.L. | Checked: D.W.

Date of Issue: 07.18.2023 Project Number: Sheet Number:

A\_023\_008

01 ARCHITECTURAL SITE PLAN SCALE: 1"=20'-0"



F.M. 359 & F.M. 1093 WESTPARK TOLLWAY (120' R.O.W.)

BAR SCALE ABOVE.

NOTE: PRINTED DRAWING SIZE

MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

### LANDSCAPE CALCULATIONS

SITE AREA: 81,812 SF IMPERVIOUS AREA (OTHER THAN PARKING): 24,944 SF

SHADE TREES REQUIRED: 50 SHADE TREES (2 PER 1,000 SQ FT OF IMPERVIOUS AREA)

SHADE TREES PROVIDED: 18 SHADE TREES\*

STREETSCAPE FRONTAGE LENGTH:

STREET TREES REQUIRED: 7 TREES (1 PER 40 LF OF FRONTAGE) STREET TREES REQUIRED: 0 TREES\*

PARKING LOT 82 SPACES

ISLANDS REQUIRED: 5 ISLANDS (1 PER 15 SPACES)

ISLANDS PROVIDED: PROVIDED EACH ISLAND WITH A TREE NO PARKING SPACE FURTHER THAN FIFTY FEET (50') FROM A TREE

\*EXISTING EASEMENTS PREVENT PLACING STREET TREES

O) (MADO)	I/EV/	OTV	DOTANICAL NIANAE	OONANAONI NIANAT	0175	ODAOINO	N I A T I) / C	NOTEO
SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	NOTES
				TREES				
0	PT	12	PINUS TAEDA	LOBLOLLY PINE	MIN 2" CAL. & 7' HT & 15 GAL.	PER PLAN	YES	
$\odot$	UC	10	ULMUS CRASSIFOLIA	CEDAR ELM	MIN. 3" CAL.; 12'-14' HT.	PER PLAN	YES	
		<u> </u>		SHRUBS				
	AG	65	ABELIA X GRANDIFLORA	GLOSSY ABELIA	5 GAL.	4' O.C.	NO	
0	IB	63	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	5 GAL.	4' O.C.	NO	
₹.,	IN	5	ILEX X 'SAVANNAH'	SAVANNAH HOLLY	15 GAL.	PER PLAN	YES	60" HT. MI
<b>O</b>	LF	33	LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	TEXAS SAGE	5 GAL.	3' O.C.	YES	
	MC	15	MYRICA CERIFERA	WAX MYRTLE	7 GAL.	5.5' O.C.	YES	
				GROUNDCOVER	I			
	НА	48	HEMEROCALLIS 'AZTEC GOLD'	AZTEC GOLD DAYLILY	1 GAL	2' O.C.	NO	
	LM	68	LANTANA MONTEVIDIENSIS	PURPLE LANTANA	1 GAL.	2' O.C.	NO	
**	MS	237	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO EULALIA GRASS	5 GAL.; 18" HT. MIN.	3' O.C.	NO	
	MU	128	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	1 GAL.	30" O.C.	YES	
	PA	76	PENNISETUM ALOPECUROIDES 'CASSIAN'	CASSIAN FOUNTAINGRASS	1 GAL.	30" O.C.	NO	
2 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	PH	50	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAINGRASS	1 GAL.	27" O.C.	NO	
Ψ Ψ		15,563 SF	SOD: TIFWAY 419	BERMUDA GRASS	SOD		NO	

### GENERAL GRADING AND PLANTING NOTES

PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

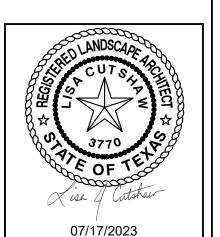
- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH,
- THE ASSOCIATED NOTES. SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE
- GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH
- GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL
- AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL

AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING

- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS). c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO
- THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS

FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.





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LANDSCAPE PLANTING PLAN

Date	Comment

Checked By

07/17/2023

LC/RM

### PLANTING SPECIFICATIONS

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM
- SPECIALIZING IN LANDSCAPE PLANTING. 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE
- REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES. 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN
- ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY,
- TRANSPORTATION AND INSTALLATION OF MATERIALS. 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF

- ALL MANUFACTURED PRODUCTS SHALL BE NEW B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
- 1 FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI 760 1-2014 PROVIDE WELL-SHAPED FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
- 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
- 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND
- OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL. 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS
- 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE
- INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS. 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT
- THE ROOT FLARE HAS BEEN COMPLETELY COVERED. SHALL BE REJECTED. C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE
- ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER,
- PLANTS ROOTS AND SEEDS E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT: 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE: SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M: NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A
- QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH
- 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK
- GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

### **METHODS**

- A. SOIL PREPARATION
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SOIL TESTING:
- a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING
- THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC) LIME SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG
- WITH THE SOIL SAMPLES THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR
- THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF
- ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000
- "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE
- TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP
- 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
- 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER CU. YD. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
- IRON SULPHATE 2 LBS. PER CU. YD. 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH
- GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS. AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON
- THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS. TRASH. OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY). WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE

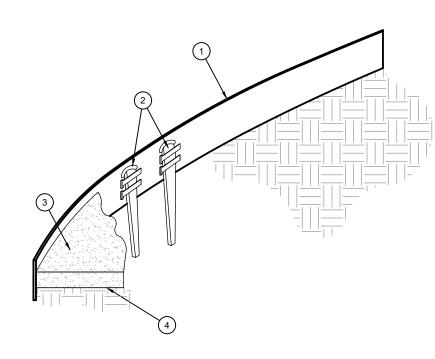
TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE

REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES

AT THE MANUFACTURER'S RECOMMENDED RATE.

D. TREE PLANTING

- TRENCHING NEAR EXISTING TREES: a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE
- GRADE AT THE TRUNK). ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE
- EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ. c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD. TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST.
- CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS
- INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1 DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR MPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
- TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES: TWO STAKES PER TREE 1"-2" TREES
  - 2-1/2"-4" TREES THREE STAKES PER TREE
  - TREES OVER 4" CALIPER GUY AS NEEDED MUI TI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  - THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS MULTI-TRUNK TREES NEEDED TO STABILIZE THE TREE
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST
- INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING
- BEDS, COVERING THE ENTIRE PLANTING AREA.
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL
- WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
- DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. H. CLEAN UP
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN. FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S
- SATISFACTION WITHIN 24 HOURS. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- LANDSCAPE MAINTENANCE THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING
- CONDITIONS MUST OCCUR: THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE
- NEATLY MOWED K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR
- REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS



- 1) ROLLED-TOP STEEL EDGING PER PLANS.
- (2) TAPERED STEEL STAKES.
- (3) MULCH, TYPE AND DEPTH PER PLANS. (4) FINISH GRADE
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE. 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

24" MIN. TO EDGE

OF MATURE CANOPY

DISTANCE PER PLAN

(2) MULCH LAYER.

(4) TURF (WHERE SHOWN ON PLAN).

TREE TRUNK

TREE CANOPY

COMPLETELY ENCIRCLE THE ROOTBALI

(3) PLANT.

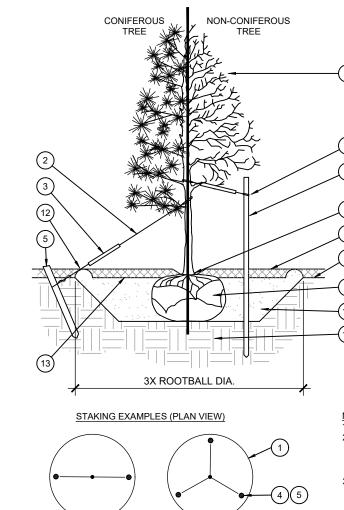
PLANTING AT PARKING AREA

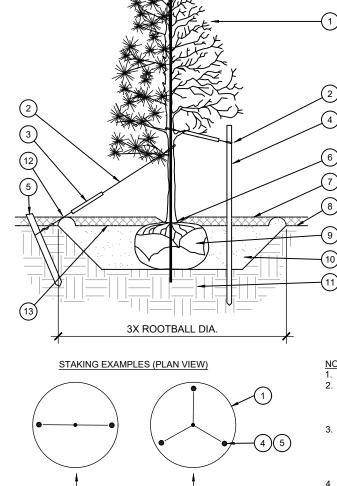
**ROOT BARRIER - PLAN VIEW** 

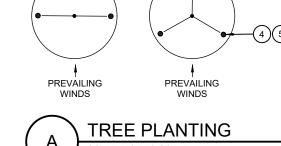
OPEN LANDSCAPE

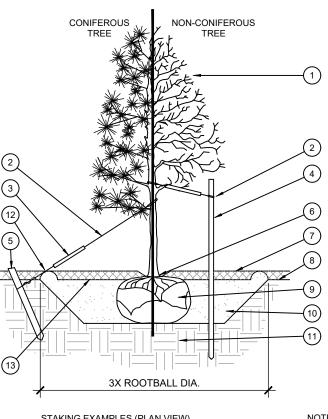
**OR ISLAND** 

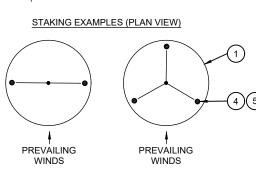


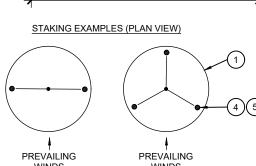


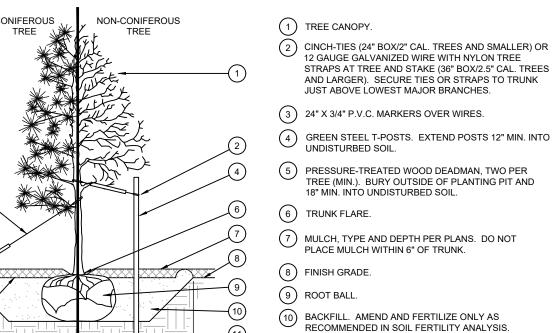










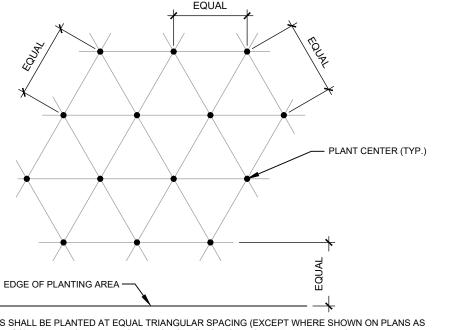


(13) FINISH GRADE. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE

(11) UNDISTURBED NATIVE SOIL.

(12) 4" HIGH EARTHEN WATERING BASIN.

- PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. REMOVE ALL NURSERY STAKES AFTER PLANTING.
- 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. 6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM
- BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT REMOVE STAKES AFTER ONE YEAR TO ENSURE PROPER ROOT

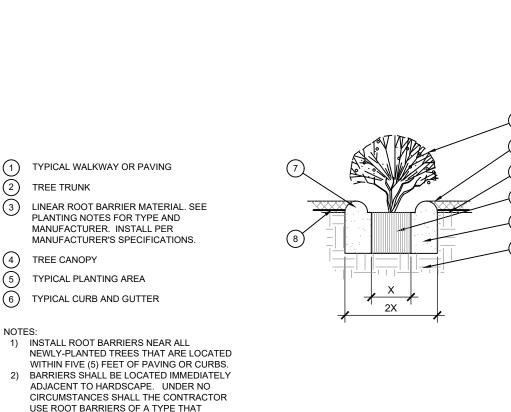


NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS. 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:

AREA DIVIDER 1.95 PLANT SPACING AREA DIVIDER PLANT SPACING

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION **EXAMPLE:** PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER STEP 1: 100 SF/1.95 = 51 PLANTS STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

PLANT SPACING



(1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. (2) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

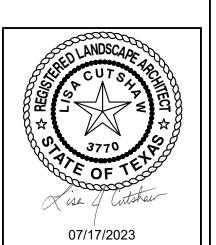
CENTER. (3) FINISH GRADE. (4) ROOT BALL.

> (5) 12" OF AMENDED TOPSOIL IN PLANTING AREAS. FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. (6) UNDISTURBED NATIVE SOIL.

(7) 3" HIGH EARTHEN WATERING BASIN (8) WEED FABRIC UNDER MULCH.

SHRUB AND PERENNIAL PLANTING





a S  $\mathsf{O}$ 

LANDSCAPE **SPECIFICATIONS** 

& DETAILS

roject Number 07/17/2023 Drawn Bv

Date Comment

Checked By

#### **PUBLIC HEARING**

The City of Fulshear Zoning Board of Adjustment will hold a public hearing on September 21, 2023;
The public hearing will take place at 10 a.m. at the City of Fulshear Municipal Complex, 6611 W. Cross
Creek Bend Lane, Fulshear, Texas 77441 to hear the application of Patrick Sowinski, requesting a
variance to Article II: Zoning Districts and Land Uses, Division II-2 Zoning Districts, Sec 28-2-14 General
Commercial, Table 28-2-14-1 and Table 28-2-14-2 of the Fulshear Coordinated Development Ordinance.
The approximately 6-acre tract of land is generally located along Wallis Street and within the Thrive
Church Fulshear Subdivision, just south of the Texana Café located at 7440 FM 359 Road, Fulshear, Texas
77441. The application may be inspected at the Planning Department during regular business hours.
Interested parties may appear at the public hearing and be heard with respect to the application. For
more information regarding this request contact Rodrigo Rodriguez, City of Fulshear, 281-346-8860.

#### **AGENDA MEMO**

#### BUSINESS OF THE ZONING BOARD OF **ADJUSTMENTS** CITY OF FULSHEAR, TEXAS

**AGENDA OF:** September 21, 2023

**DATE SUBMITTED:** July 17, 2023 **DEPARTMENT:** Planning and

Development

Rodrigo Rodriguez,

Joshua Brothers, PREPARED BY: Development PRESENTER: Planning Director

Coordinator

**SUBJECT:** CONSIDERATION AND POSSIBLE ACTION ON VARIANCE

REQUEST BY PATRICK SOWINSKI/THRIVE CHURCH

1. Public Hearing Notice **ATTACHMENTS:** 

2. Zoning Variance Application

3. Proposed Site Plans

#### **EXECUTIVE SUMMARY**

Patrick Sowinski is requesting a variance to Article II: Zoning Districts and Land Uses, Division II-2 Zoning Districts, Sec 28-2-14 General Commercial, Table 28-2-14-1 and Table 28-2-14-2 of the Fulshear Coordinated Development Ordinance. The purpose of the proposed variance is to allow for the number of parking stalls to exceed the maximum allowed and for 14 parking stalls to encroach the parking setback.

#### STAFF RECOMMENDATION

Staff recommends approval.



### CITY OF FULSHEAR

PO Box 279 /6611 W. Cross Creek Bend Ln Fulshear, Texas 77441 Phone: 281-346-8860 ~ Fax: 281-346-2556

www.fulsheartexas.gov

#### VARIANCE/APPEAL APPLICATION

JURISDICTION: The Zoning Board of Adjustments is a citizen court appointed by the City

Council to hear appeals and requests for: Variances, Special Exceptions, and

Interpretations of the Zoning Ordinance.

WHO MAY APPLY: The owner of the property under consideration, or a person having a written

authorization from, and representing, the owner may apply for a "Variance" or

"Special Exception" to the Zoning Board of Adjustments.

WHEN TO APPLY: Application for an appeal must be filed at which time a meeting will be

scheduled.

FILING FEE: Residential Variance \$150.00

Commercial Variance \$300.00 Zoning Appeal \$300.00

(Filing Fee Non-Refundable)

HEARING PROCESS: The applicant, or authorized agent, must be present at the hearing to present one's

appeal. Otherwise the Board may deny the case.

BOARD DECISION: At the conclusion of the public hearing, the Board will render a decision to either:

approve, approve with conditions, continue, deny or deny without prejudice. Applicants with approved cases are allowed 180 days to obtain a building permit.

APPEAL OF

DECISION: Any person aggrieved by a decision of the Board may, within ten (10) ten days

following the date the Board's Decision are filed for record in the City Planning Department, submit a petition to the City Council. **Decisions of the Board do** 

not replace approvals required by any other agency or review body.

APPLICANTS

RESPONSIBILITY: Applicants are responsible for the presentation of their case before the Board, and

to provide support information to include, but not be limited to the following

items:

• Surrounding land use supporting the request.

• Description of the Hardship that necessitate the request

• Reason (s) for appearing before the Board

• Reasons why the Board should grant the applicants request

OTHER REGULATORY: Approval of a request does not negate any private legal recorded CONSIDERATIONS Restrictive Deed Covenants or Restrictions that may affect the property.

CRITERIA REGULATING Consideration by the Board is determined by the following

VARIANCE REQUESTS: criteria:

1. Will literal enforcement of the ordinance result in a hardship or practical difficulty?

2. Is the hardship self-imposed?

3. Is the condition unique to the property, or is it common to other properties within the area?

- 4. Will the requested Variance injure the adjacent property?
- 5. Will the requested Variance be contrary to orderly development in the area?

WITHDRAWL OF CASE: The applicant may withdraw his/her case at any time without penalty, except after public notice has been filed. A request for withdrawal shall be submitted in writing and submitted to the Plan Review Division of the City of Fulshear.

#### **DEFINITIONS:**

**APPROVED:** Official Consent, although approval of a request does not negate any private legal recorded Restrictive Deed Covenants or Restrictions that may affect the property.

**APPROVED WITH CONDITIONS:** The Board can modify the request and Approve with Conditions; these conditions must be met in order to be approved for permitting or final inspection.

**DENY:** Official rejection of the request, this exact request cannot be made for this property to the Zoning Board of Adjustments, if the applicant chooses, he can appeal to the City Council within 10 days of the denial.

**DENY WITHOUT PREJUDICE:** Official rejection of the request although the request is left so that the applicant can come back with the same request at a later date.

**HARDSHIP:** It shall be incumbent upon an applicant to conclusively prove at the public hearing that, if compelled to meet the provisions of this Ordinance, the applicant cannot secure reasonable use of the property; that the hardship claimed results from the application of the provisions of this Ordinance; that the hardship claimed is suffered by the property directly, and not merely by other properties; that the hardship claimed is not the result of the applicant's own actions.

Please note: that monetary or cosmetic reasons will not pass the hardship standard.

**VARIANCE:** A variance is a permit which the Board may grant in certain situations, enabling a property owner the use of his property in a way which is in conflict with the literal provisions of the Ordinance. A request to vary some development requirement such as a setback, number of parking spaces, height, lot area, etc. A variance may be approved only upon a determination that;

- 1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community;
- 2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner; and
- 3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property.

**APPEAL:** A appeal may be made when any action or decision issued by the City affects anyone's rights or the applicant believes that the interpretation of the city administration is contrary to the City Ordinance.



### CITY OF FULSHEAR

PO Box 279 /6611 W. Cross Creek Bend Ln Fulshear, Texas 77441 Phone: 281-346-8860 ~ Fax: 281-346-2556 www.fulsheartexas.gov

#### VARIANCE/APPEAL APPLICATION

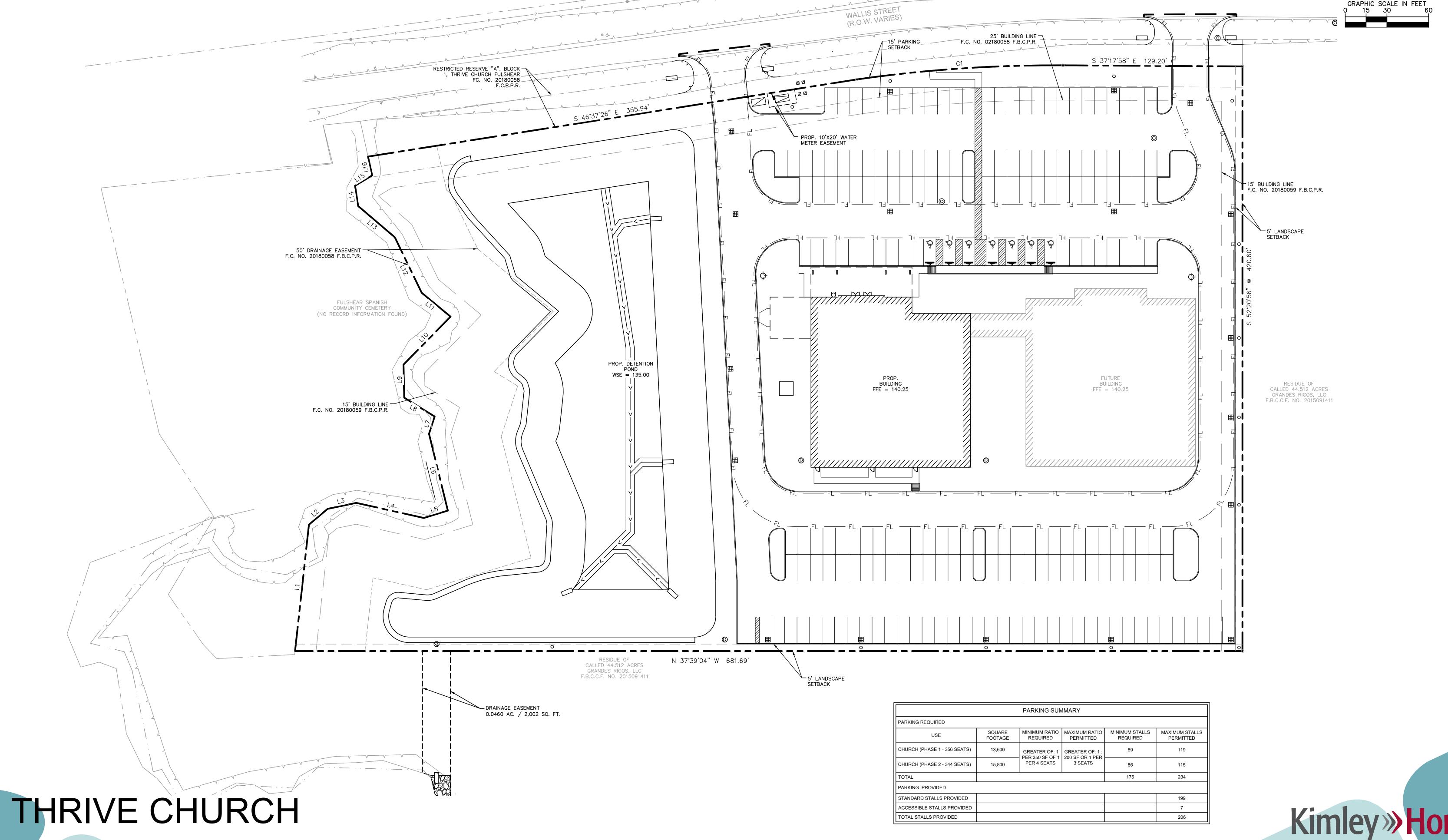
APPLICATION DATE: 7/17/2023
ADDRESS OF PREMISES AFFECTED: Wallis St, Fulshear, TX 77441
LOT 1, BLOCK 1 OF THRIVE CHURCH FULSHEAR F.C. NO. 20180058
LEGAL DESCRIPTION: F.B.C.P.R. SITUATED IN THE CHURCHILL FULSHEAR LEAGUE, ABSTRACT NO. 29 CITY OF FULSHEAR, FORT BEND COUNTY, TEXAS
OWNERS INFORMATION: NAME Thrive Church
ADDRESS 29358 McKinnon Rd CITY Fulshear STATE TX
ZIP CODE 77441 EMAIL josh@thrivechurch.cc PHONE NUMBER (832) 314-9151
APPLICANTS NAME (if different than owner) Patrick Sowinski
ADDRESS 11700 Katy Freeway, Suite 800 CITY Houston STATE 1X
ZIP CODE 77079 EMAIL Patrick.Sowinski@kimley-horn.com PHONE NUMBER (346) 348-0844
EXPLAIN REQUEST: (fully explain the existing conditions that make this request necessary)
other sitework is intended to all be constructed as part of the first phase. As such, we are requesting that the maximum parking count for initial phase of development be based on the number of church seats that will be proposed as part of the full development build out. This will allow
the church to have sufficient capacity for large services during phase one of the development.
2. We are also requesting a variance to allow for 14 parking spaces to be proposed within the 15' parking setback required for General Commercial zoned properties. The proposed development is a church, and we are requesting this variance in order to maximize the on-site parking for large church services. While these parking spaces will likely remain empty during regular Sunday gatherings, these spaces will allow for the church to handle parking for peak services such as Easter Sunday. Having these extra parking spaces will prevent church-goers from parking on streets and in surrounding neighborhoods during large services.
Have there been previous variance requests for this property? No
Are there similar situations in the area? Yes, there appear to be several encroachments into parking setbacks at the following addresses: 8502 FM 359, Fulshear, TX 77441; 8055 FM 359, Fulshear, TX 77441, 8222 Main St, Fulshear, TX 77441
Have you informed your Home Owners Association? Neighbors? Yes

**Request Proposal and Description:** Provide a description of the existing and or proposed physical property improvements relative to this case (ie: materials, structure type and height, dimensions, etc.) Please also supply and identify photos where applicable, to support your case:

<sup>1.</sup> The attached site plan exhibit shows the number of parking spaces proposed and includes a summary table outlining the minimum and maximum required parking stalls for each phase of the development. During phase one of church development, the proposed number of parking stalls (206) will exceed the maximum number of allowable stalls (119). Once phase two of the church is constructed, the proposed number of parking stalls (206), will no longer exceed the maximum number of stalls allowed (233).

<sup>2.</sup> The attached site plan exhibit shows and labels the proposed parking stall encroachment into the parking setback. We are requesting that a total of 14 stalls be located within the parking steback. The parking stalls will be paved with concrete and include concrete curbing. Masonry wall and plantings from the approved City of Fulshear list will be proposed between all parking stalls and Wallis Street for head-light screening.

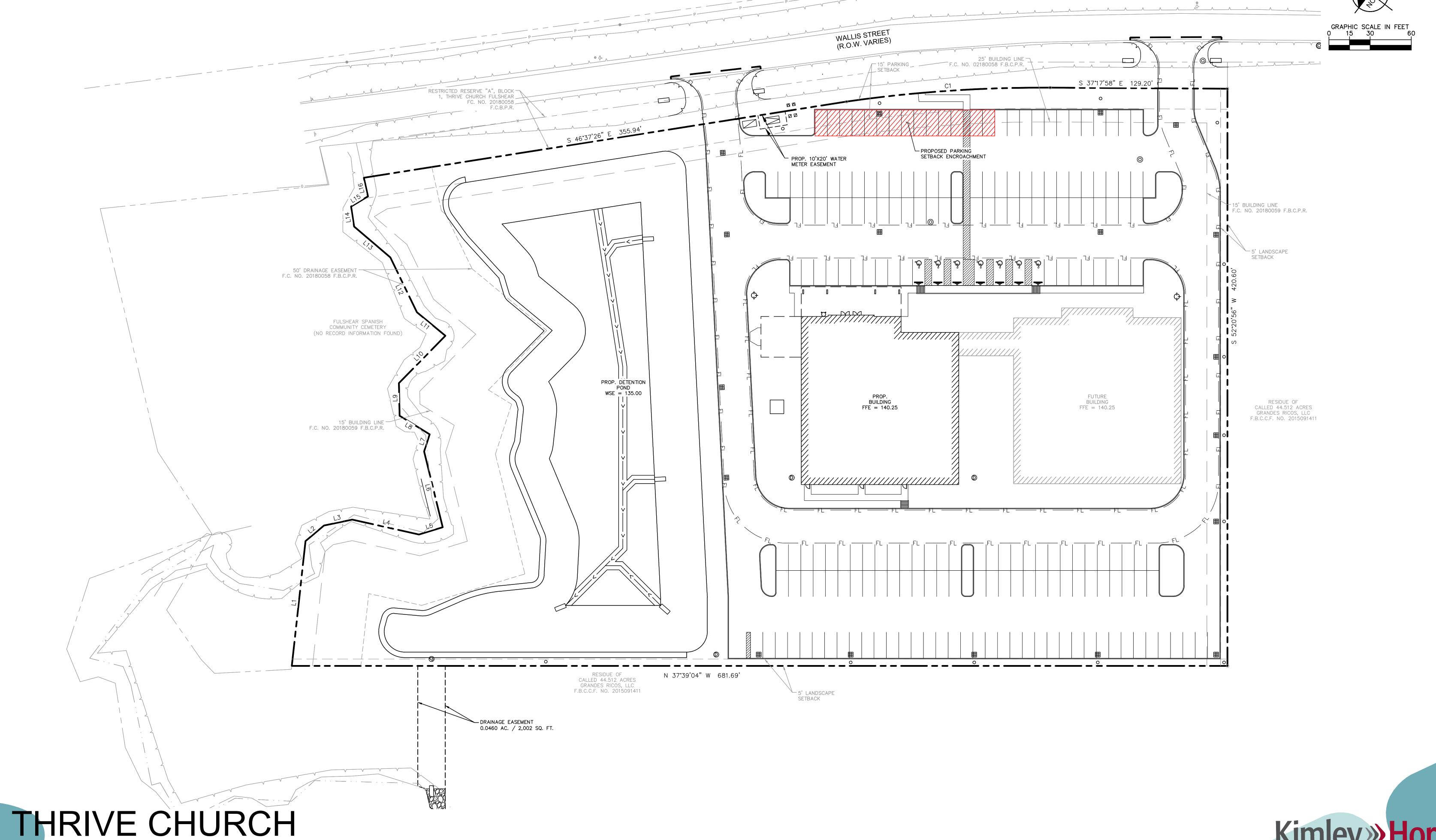
(Continued Demost Promose)		
(Continued Request Proposal)		
<b>Acknowledgement:</b> I certify that the infor	•	
of my knowledge and belief, and that I, or	•	
be presented in public hearing before the P		-
the City's posting of public notice. Should	±	<b>1</b>
understand that the Board action shall cons		_
refundable. I understand that if I receive ap	pproval, I must still obtain approv	al from all other
required departments within the City and the	hat I must obtain required permits	s within 180 days
from the date of the Board approval.	$\mathcal{D}_{i}$	
	lathester	Data: 7/17/2023
<b>Signed</b> by the Applicant/Owner Agent:	••	Date: //1//202



FULSHEAR, TEXAS JULY 2023

11700 Katy Freeway
Suite 800
Houston, Texas 77079
281-597-9300
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND SURVEY, TOPOGRAPHY, UTILITIES, CONTACT WITH



FULSHEAR, TEXAS JULY 2023 11700 Katy Freeway Suite 800 Houston, Texas 77079 281-597-9300 State of Texas Registration No. F-928